

11551 Valley View Road • Sagamore Hills, Ohio 44067-1099
Office: 330.467.0900 • Fax: 330.655.7899
MySagamoreHills.com

BZA Hearing June 29, 2022

Jeff and Laura Janusek

680 Canterbury Lane

Sagamore Hills, Ohio 44067

Permit Applied for: Deck and Sunroom

Date Applied: June 7, 2022 and May 2, 2022

Date Denied: June 13, 2022

Reason for Appeal: There are 2 applications for this address. Resident requests to build a deck and sunroom which encroaches to 0 to 3.78 ft. to the rear property line. Rear setback in a PUD is 30 ft. Currently the home sits approximately 12 feet to the rear lot line.

Notes: PPN #4504813 The residence is located in Eaton Estates which is a PUD. All set backs must be followed within regard to the PUD section of the SHZR. Customer is building a 12' by 12' sunroom (144 square feet), with decking on either side, 12' x 15' and a landing on the opposite side of the sunroom, approx. 6' x 8' with stairs. Total decking 240 square feet.

SHZR Chapter 14 Section VI

14.6 C (4). Rear Lot Line

Within a PUD, No building or structure shall be erected any closer than thirty (30) feet to the rear lot line

Reason for Denial: The new addition, and decking do not maintain the minimum setback regulation for a PUD.



11551 Valley View Rd. ♦ Sagamore Hills, OH 44067

Phone: 330.467.0900 ♦ Fax: 330.655.7899

www.mvsagamorehills.com

zoninginspector@mvsagamorehills.com

DECK PERMIT APPLICATION

PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION. FAILURE TO OBTAIN PERMIT PRIOR TO CONSTRUCTION WILL RESULT IN A MONETARY PENALTY FEE

PROPERTY INFORMATION	
Site Address: <u>680 Canterbury Ln</u>	Parcel No.: <u>4504813</u>
Owner(s): <u>Jeff & Laura Janusek</u>	
Owner Address: <u>Same</u>	
Owner Telephone No.: <u>330-840-8566</u>	
Owner Email Address: <u>jejanusek@roadrunner.com</u>	
Primary Homeowners Association (HOA): <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (If yes, attach HOA approval)	
If yes, Name of HOA: <u>Eaton Estates → waiting on approval</u>	
Sub HOA (if applicable): <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (If yes, attach HOA approval)	
If yes, Name of HOA: <u>Trails Crossing</u>	
Corner Lot: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No **Note: Corner lots are required to meet the front setback on both streets**	

CONTRACTOR/BUILDER INFORMATION	
Contact Name: <u>Jason Herb</u>	
Company Name: <u>Klassic Decks</u>	
Address: <u>2921 Center Rd Brunswick OH 44212</u>	
Telephone No.: <u>330-408-3476</u>	Email Address: <u>jasone@klassicdecks.com</u>

DECK INFORMATION			
Deck Location: <input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear			
SETBACKS FROM PROPERTY LINES (ft.)			
Front (from centerline of road):	Left Side: <u>16</u>	Right Side: <u>30</u>	Rear: <u>0</u>
Square Footage: <u>240</u> ⇒ <u>12'x16' + 8'x6'</u>			
Sewer System: <input type="checkbox"/> Septic <input checked="" type="checkbox"/> Central (A permit for either is required from Summit County Department of Sanitary Sewer Services)			

Note: 3 seasons room to be permitted and built by others

- The owner agrees to abide by the Ohio Fire Code, Article (§1301:7-7-03), Section F-301,0 and the appropriate section of the Ohio Revised Code pertaining to open burning. No open burning is permitted without first obtaining appropriate permits from the Ohio Environmental Protection Agency and the Sagamore Hills Township Division of the Macedonia Fire Department. The applicant also agrees to abide by §F409.2.2 of the Ohio Fire Code pertaining to portable fire extinguishers during construction operations.
- The zoning permit shall become void at the expiration of one (1) year after date of issue.
- We encourage calling 811 or 1-800-362-2764 prior to construction to identify underground utilities.

DocuSigned by:
Jeff Janosik
C702714EE7954C6

Property Owner Signature: _____ Date: 6/7/2022

FEE - (check made payable to Sagamore Hills Township)
See Section 18 Fee Schedule

FOR OFFICE USE ONLY

Zoning District: Residential Residential Cluster PUD (Greenwood) PUD (Baton Estates) Commercial Industrial

HOA Approval: Received; Approval Date: 5-27-22 N/A

Summit County Health Department
Sewer/Septic Permit Approval: Received; Approval Date: _____ N/A

Riparian Setback Map Assessment: Completed and filed; Approval Date: NA Blanket Form

Zoning Certificate Permit No.: _____ Approved Denied*

Zoning Inspector Signature: *Reginald...* Date: 6-13-22

*Reason for Denial: *doesn't meet PUD Setback*

JEFF & LAURA JANOSEK DECK PROJECT

680 CANTERBURY LANE
SAGAMORE HILLS

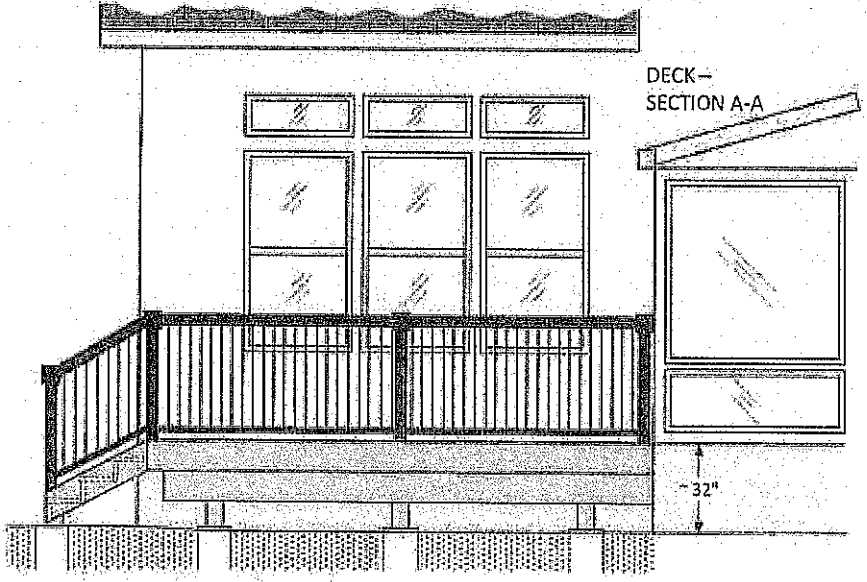
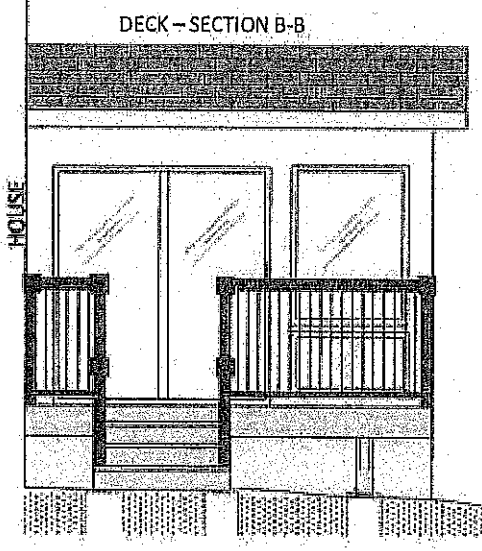
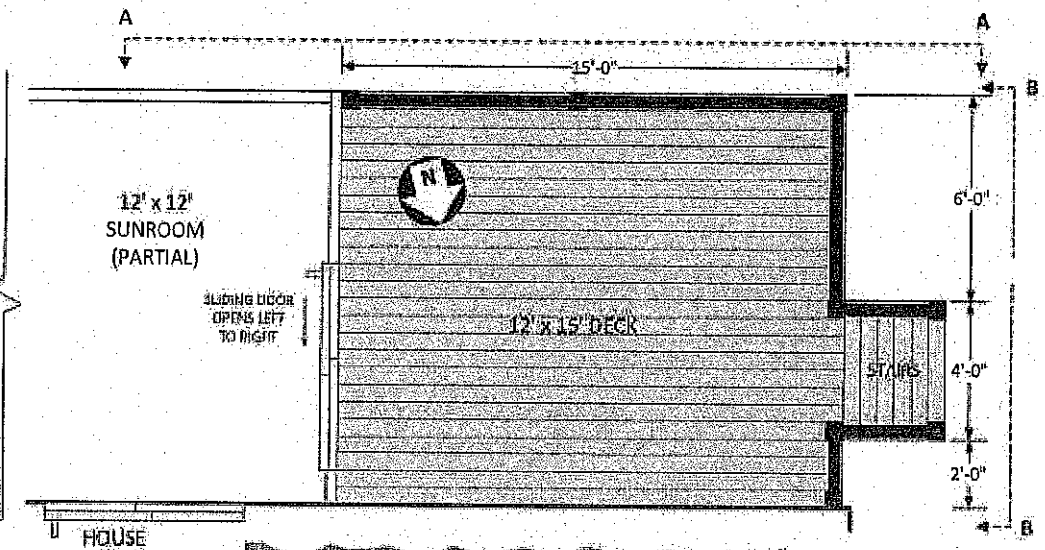
PAGE 1 OF 3, DRAWN BY JEFF JANOSEK
4/24/2022



JEFF & LAURA JANOSEK DECK PROJECT
 680 CANTERBURY LANE
 SAGAMORE HILLS

12' x 15' DECK

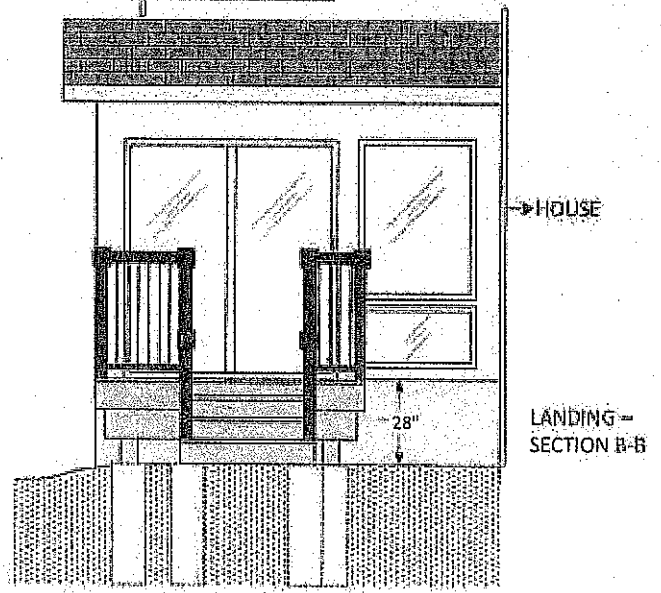
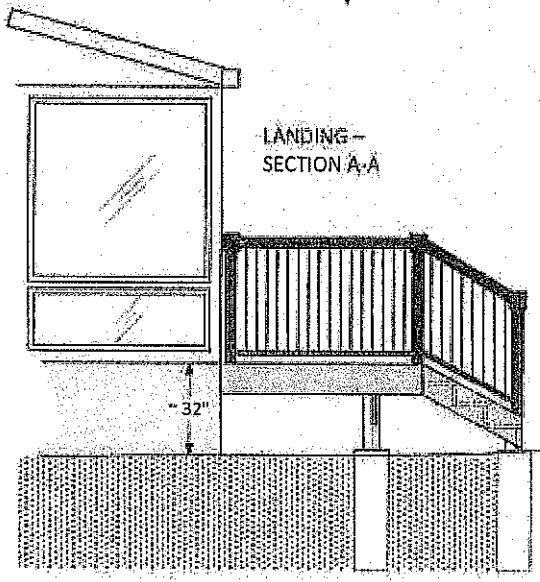
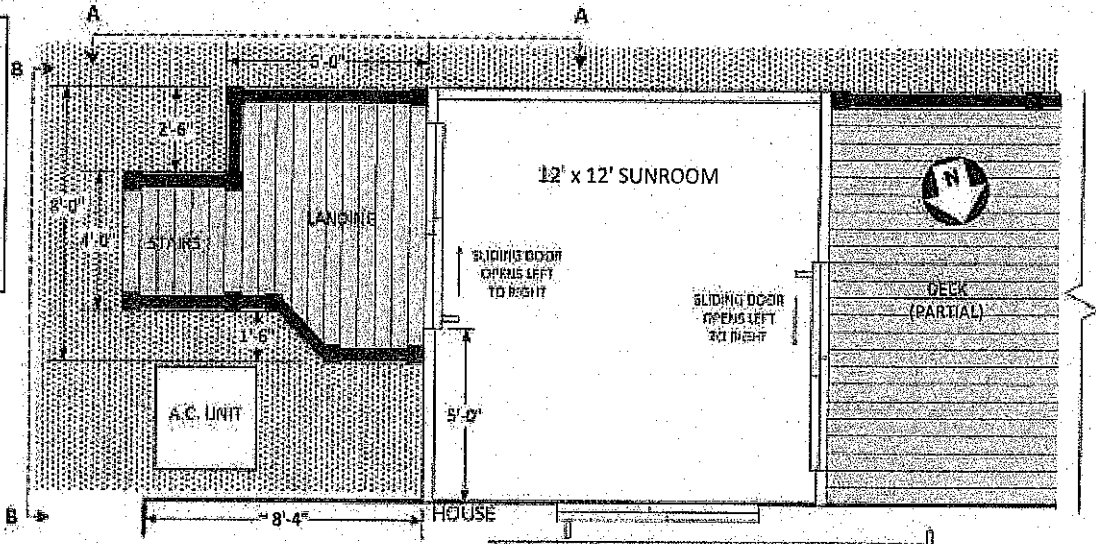
PAGE 2 OF 3, DRAWN BY JEFF JANOSEK
 4/24/2022

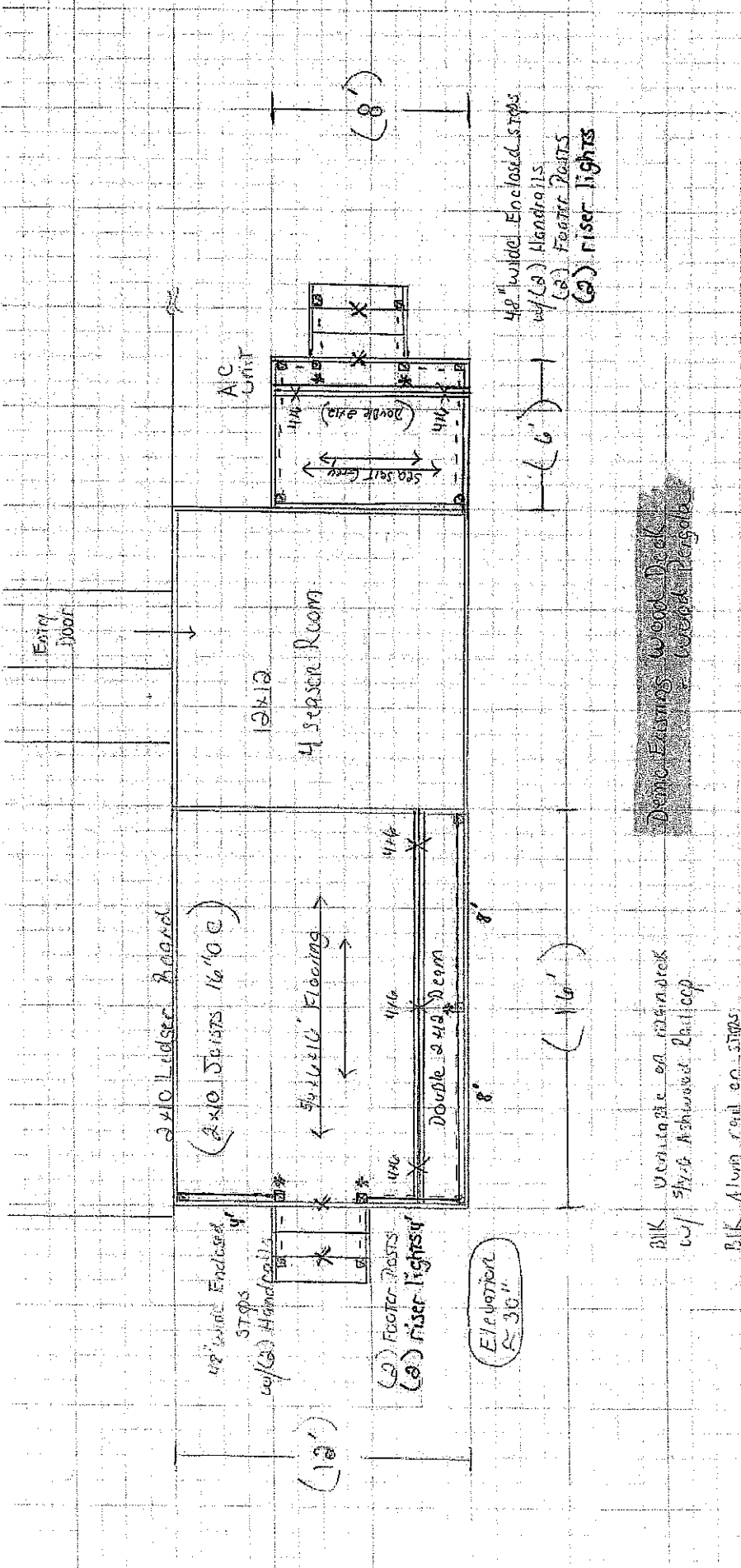


JEFF & LAURA JANOSEK
DECK PROJECT
 680 CANTERBURY LANE
 SAGAMORE HILLS

SUNROOM LANDING

PAGE 3 OF 3, DRAWN BY
 JEFF JANOSEK
 4/24/2022





DATE: 4/18/2022
 SCALE: 1/4" = 1'-0"

PROJECT: 48" wide Enclosed w/ Fabric
 ADDRESS: 680 Carterbury Ln
 CITY/STATE/ZIP: Sacramento Hills, 94067
 PHONE: (930) 800-8506
 CELL: (330) 608-8685
 NAME: Jeff + Laura Janussek

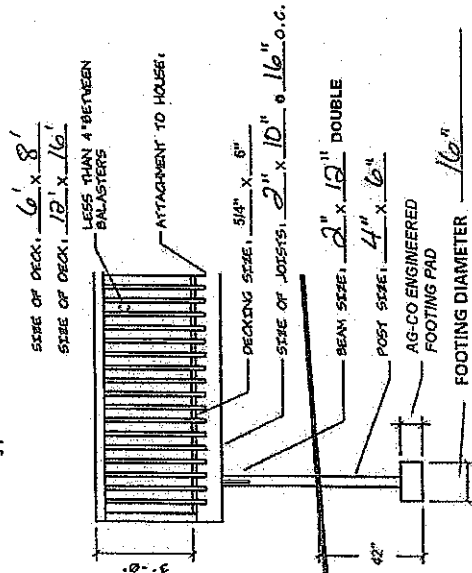
DOOR HEIGHT: Flush w/ room
 NOTE: 2x10 Building

STAIR TYPE: 48" wide Enclosed w/ Fabric
 STAIR TREADS: 5/4x6 sea salt gray
 STAIR RISES: 1x8
 WEIGHTS: (5) 900ent
 LIGHTS: (4) riser
 HEIGHTS:

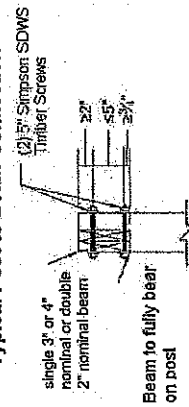
RAIL STYLE: Black Alum
 RAIL FINISH: Black Vertical Grain w/ Fabric
 RAIL BRACKETS: BIK Alum
 RAIL SPODES: 2" BIK
 RAIL CAPS: 1x6 Repts - 5/4x6 Deck
 RAIL BRACE: 5/4x6 Ashwood only

PROJECT: 48" wide Enclosed w/ Fabric
 ADDRESS: 680 Carterbury Ln
 CITY/STATE/ZIP: Sacramento Hills, 94067
 PHONE: (930) 800-8506
 CELL: (330) 608-8685
 NAME: Jeff + Laura Janussek

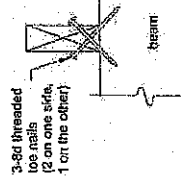
Typical Deck Construction



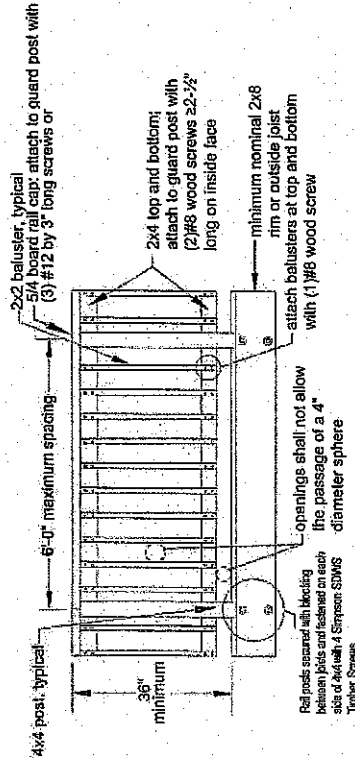
Typical Post to Beam Connection



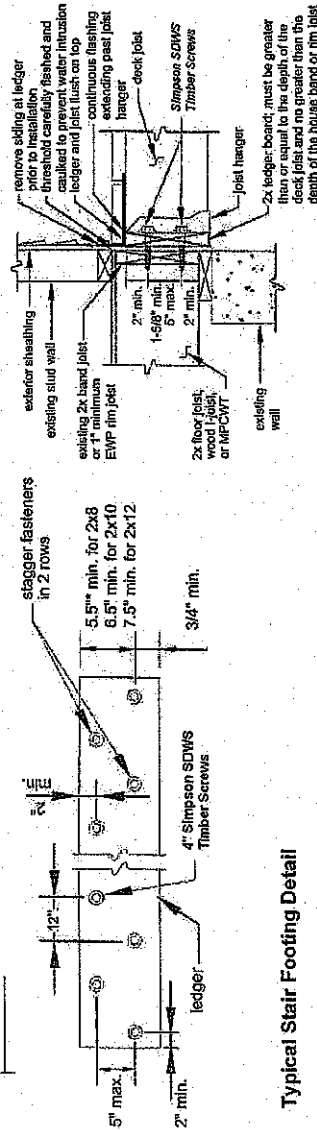
Typical Joist to Beam Connection



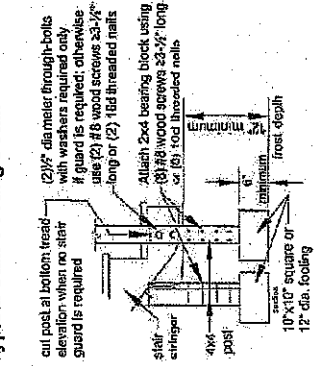
Typical Railing Detail



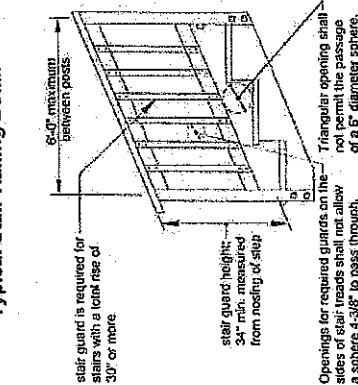
Typical Ledger Install Method



Typical Stair Footing Detail

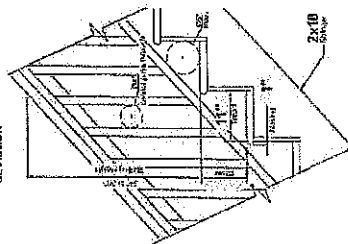


Typical Stair Railing Detail

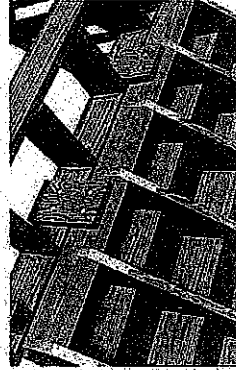


Typical Stair Detail

- Maximum 8-1/4" rise
- All risers will be closed
- 11" tread depth
- 3/8" maximum riser height deviation



Typical Stair Mount Detail





Coral Management Company
13219 Shaker Square
Cleveland, Ohio 44120

May 27, 2022

RE: Architectural Approval

Jeff & Laura Janosek
680 Canterbury Ln.
Sagamore Hills, OH 44067

Dear Homeowner(s):

As you may be aware, the undersigned serves as the managing agent for Eaton Estate Community Association, Inc. Our responsibilities include keeping the residents of the property informed of the various rules of the community. These rules are aimed at promoting the health, safety, and welfare of all residents.

The Eaton Estate Community Association, Inc. Architectural Review Committee has approved your request for two new decks, as submitted.

The homeowner, or their contractor, is to obtain all necessary Sagamore Hills zoning permits, as well as any and all, Summit County building permits. Please be sure to keep a copy of the approval with your homeowner documents.

Sincerely,

Avery E. Dennison on behalf of the Architectural Review Committee for Eaton Estate Community Association, Inc.

CC: Board

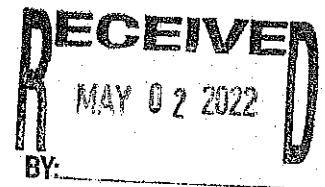


11551 Valley View Rd. ♦ Sagamore Hills, OH 44067

Phone: 330.467.0900 ♦ Fax: 330.655.7899

www.mysagamorehills.com

zoninginspector@mysagamorehills.com



RESIDENTIAL ADDITION PERMIT APPLICATION

PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION. FAILURE TO OBTAIN PERMIT PRIOR TO CONSTRUCTION WILL RESULT IN A MONETARY PENALTY FEE

PROPERTY INFORMATION	
Site Address:	680 Canterbury Lane Parcel No.: 4504813
Owner(s):	Jeffrey Janosek
Owner Address:	680 Canterbury Lane
Owner Telephone No.:	330-840-8566
Owner Email Address:	N/A
Primary Homeowners Association (HOA):	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (if yes, attach HOA approval)
If yes, Name of HOA:	Coral management company
Sub HOA (if applicable):	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (if yes, attach HOA approval)
If yes, Name of HOA:	
Corner Lot:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No **Note: Corner lots are required to meet the front setback on both streets**

CONTRACTOR/BUILDER INFORMATION	
Contact Name:	Jessica Austin
Company Name:	Joyce Factory Direct
Address:	1125 Berea Industrial Pkwy Berea, OH 44017
Telephone No.:	440 274 5195
Email Address:	jaustin@joycefactorydirect.com

PROPOSED SITE STRUCTURE INFORMATION	
SETBACKS FROM PROPERTY LINES (ft.):	
Front (from centerline of road):	63.5 FT Left Side: 44.9 FT Right Side: 25.5 FT Rear: 3.78 FT
Square Footage:	Finished basement: 0 1 st floor: 0 2 nd floor: 0 3 rd floor: 0 Decks/porches: 144 Garage: 0
Total square feet:	144 Maximum Structure Height: 10'
Sewer System:	<input type="checkbox"/> Septic <input checked="" type="checkbox"/> Central (A permit for septic is required from Summit County Department of Sanitary Sewer Services)
Road Opening:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (If yes, a Road Opening Permit may be required from SHT Service Department or Summit County Engineer)

From: Jason Herb <Jason@klasicdecks.com>
Sent: Thursday, June 9, 2022 1:00 PM
To: Zoning Inspector; Patricia Petrusky
Cc: Jeff & Laura Janosek
Subject: 680 Canterbury Ln
Attachments: EEC Deck Approval - Janosek.docx; TRL Deck Approval - Janosek.docx; 680 Canterbury Ln.pdf

Ray & Patricia,

Attached is a new application for a deck project at 680 Canterbury Ln. Please let me know if you need any additional information or have any questions

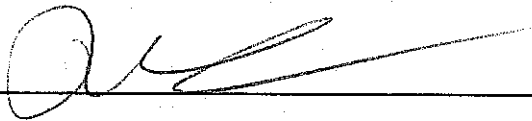
Thank you,

Jason Herb

Director of Operations
Klassic Decks
jason@klasicdecks.com
330-468-3476 x 4



- The applicant agrees to abide by the Ohio Revised Code Sections §5589.08, §5589.10 and §5589.22 in that no dirt or mud is permitted on the road right-of-way during construction and that any repair costs for damage to the roadway or parts thereof will be paid by the applicant.
- There may be deed restrictions on the property that differ from the Sagamore Hills Township Zoning Resolution. The owner is solely responsible in ensuring compliance with any deed restriction, covenants or HOA restrictions.
- Erosion control devices must be maintained throughout construction. Failure to do so constitutes a violation of the zoning resolution and may result in the revocation of the zoning certificate or further legal action.
- The owner agrees to abide by the Ohio Fire Code, Article (§1301:7-7-03), Section F-301,0 and the appropriate section of the Ohio Revised Code pertaining to open burning. No open burning is permitted without first obtaining appropriate permits from the Ohio Environmental Protection Agency and the Sagamore Hills Township Division of the Macedonia Fire Department. The applicant also agrees to abide by §F409.2.2 of the Ohio Fire Code pertaining to portable fire extinguishers during construction operations.
- The zoning permit shall become void at the expiration of one (1) year after date of issue.
- We encourage calling 811 or 1-800-362-2764 prior to construction to identify underground utilities.

Owner Signature:  Date: 4/27/22

FEE - (check made payable to Sagamore Hills Township)
See Section 18 Fee Schedule

FOR OFFICE USE ONLY

Zoning District: Residential Residential Cluster PUD (Greenwood) PUD (Eaton Estates) Commercial Industrial

Summit County or State of Ohio Road Opening Permit: Received; Approval Date: _____ N/A

SHT Road Permit: Received; Approval Date: _____ N/A

HOA Approval Received; Approval Date: 4-26-22 N/A


Sub-HOA Approval Received; Approval Date: _____ N/A

Summit Co. Health Department Sewer/Septic Permit Approval: Received; Approval Date: _____ N/A

Riparian Setback Map Assessment Completed and filed N/A Blanket Form

An original stamp of approval on the site plan issued by the Summit Soil & Water Conservation District signifying adherence to a Storm Water Pollution Prevention Plan (for disturbed areas equal to or greater than one (1) acre) Yes N/A

Zoning Certificate Permit No.: _____ Approved Denied*

Zoning Inspector Signature:  Date: 6-13-22

*Reason for Denial: doesn't meet PUD Setback

Resident to appeal to BZA? Yes No



Enhanced Search

By Shape

By Value

Results

Features selected: 1

680 CANTERBURY LN

1812

4504813

43.5 FT

44.9 FT

25.5 FT

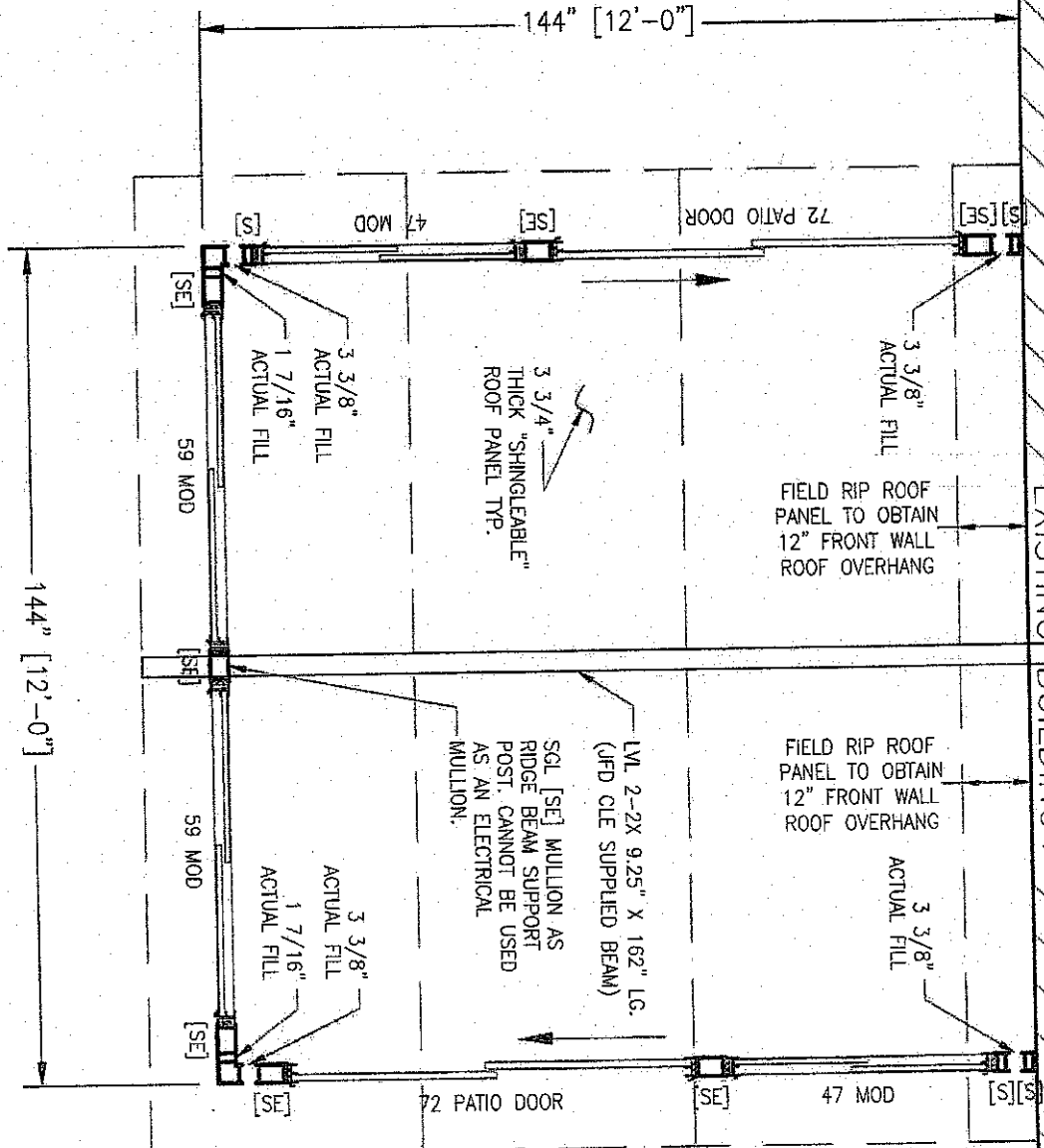
3.78 FT

Parcel Viewer 3.0



CANTERBURY LN

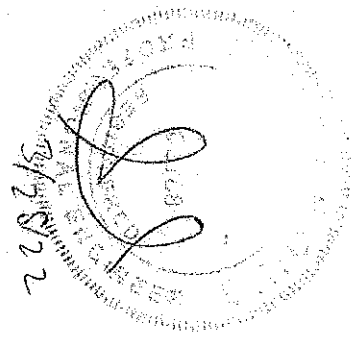
EXISTING BUILDING



DESIGN CRITERIA:
 SNOW LOAD: 20 PSF
 WIND LOAD: 115 MPH
 (3 SECOND GUST)

- ① 72PD ON LEFT WALL WAS 96PD.
- ② 72PD ON LEFT WALL WAS LEFT OP.
- ③ ADD DESIGN CRITERIA AND CUSTOMER ADDRESS AS SITE SPEC DWG

NOTE: ROOF PANELS AS SHOWN REFLECT A NON-PITCH ADJUSTED ROOF O.H. OF 12" PLUS GUTTER TYP.



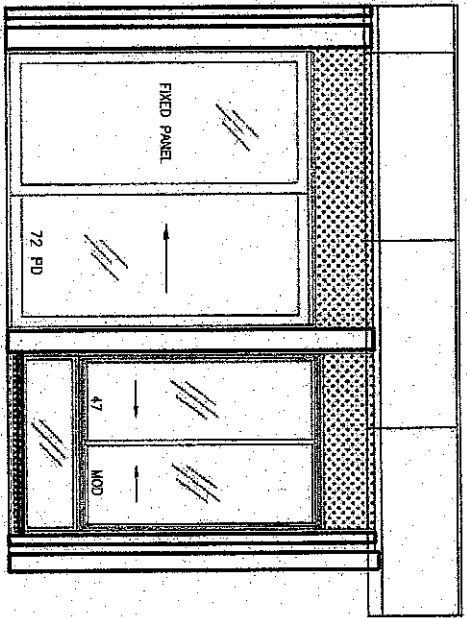
1728 BEREA RD. PRIVY,
 BEREA, OH 44017
 PH: (440) 239-9100
 FAX: (440) 239-1812
 TOLL FREE: (800) 824-7988
 EMAIL: jmc@joyceinc.com

DEALER NAME: JFD CLEVELAND
 CUSTOMER NAME: JANSEK, 680 CANTERBURY LN, NORTHFIELD, OH 44067
 JOYCE ORDER #: 202202090
 DRAWN BY: KJH
 CHECKED BY: WAC
 DATE: 03/11/2022
 SCALE: 3/8" = 1'-0"

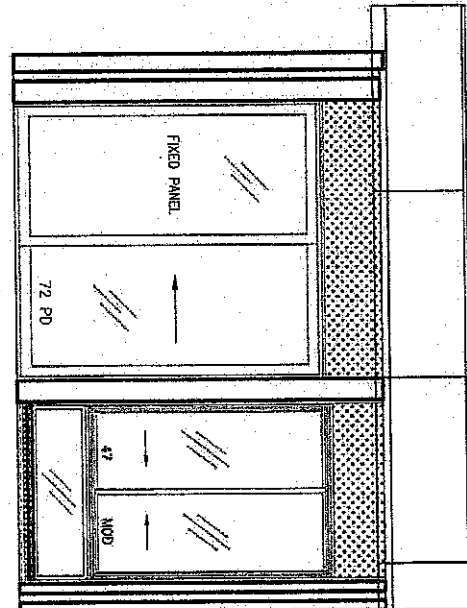
ISR 2600 MODULAR ROOM FLOOR PLAN

REV.	DATE	BY	COMMENT	SHEET:
1	03/15/22	KJH	SEE BALLOON #1 ABOVE	A-1 1 OF 3
2	03/15/22	KJH	SEE BALLOON #2 ABOVE	
3	03/15/22	WAC	SEE BALLOON #3 ABOVE	

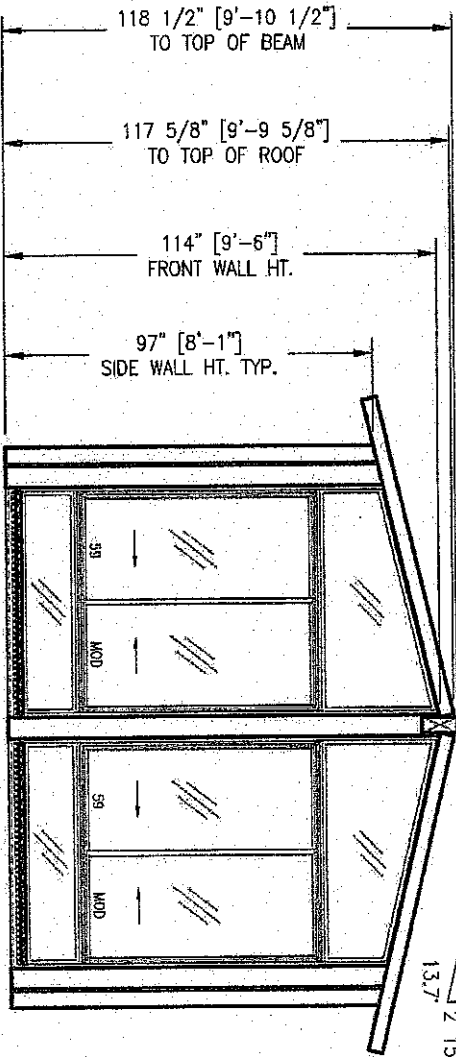
DESIGN CRITERIA:
 SNOW LOAD: 20 PSF
 WIND LOAD: 115 MPH
 (3 SECOND GUST)



LEFT SIDE



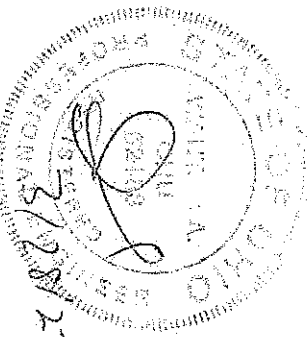
RIGHT SIDE



FRONT

- ① HAD KORAD KW'S. 7ZPD ON LEFT WALL WAS 96PD.
- ② 7ZPD ON LEFT WALL WAS LEFT OP.
- ③ ADD DESIGN CRITERIA AND CUSTOMER ADDRESS AS SITE SPEC DWG
- ④ FRONT WALL HT. WAS: 120"

NOTES: DIMENSIONS ARE FROM
 FINISHED FLOOR LINE.
 ROOM VIEWED FROM
 OUTSIDE LOOKING IN.



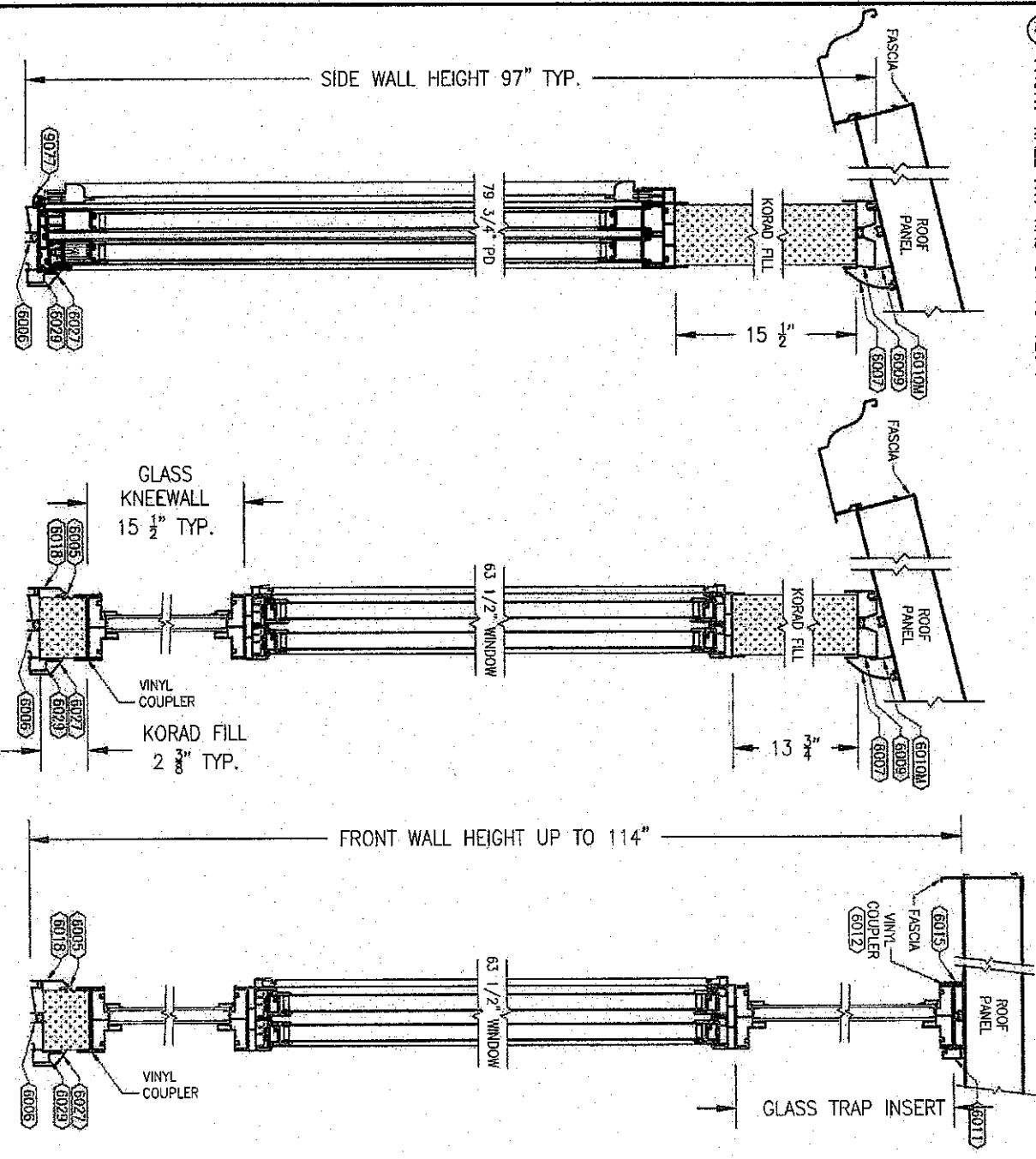
1125 BEREA RD. PKWY.
 BEREA, OH 44017
 PH: (440) 239-9100
 FAX: (440) 239-1812
 TOLL FREE: (800) 824-7988
 E-MAIL: jmc@joyceco.com

DEALER NAME: JFD CLEVELAND
 CUSTOMER NAME: JANCSEK 880 CANTERBURY LN, NORTHFIELD, OH 44087
 JOYCE ORDER #: 202202090
 DRAWN BY: KJH
 CHECKED BY: WAC
 DATE: 03/11/2022

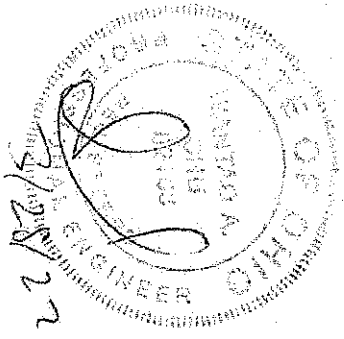
LSR 2600 MODULAR ROOM ELEVATION

REV.	DATE	BY	COMMENT	SHEET:
1	03/15/22	KJH	SEE BALLOON #1 ABOVE	A - 2 2 OF 3
2	03/15/22	KJH	SEE BALLOON #2 ABOVE	
4	03/18/22	KJH	SEE BALLOON #4 ABOVE	
3	03/15/22	KJH	SEE BALLOON #3 ABOVE	

① FRONT WALL HT. WAS UP TO 120"



DESIGN CRITERIA:
 SNOW LOAD: 20 PSF
 WIND LOAD: 115 MPH
 (3 SECOND GUST)

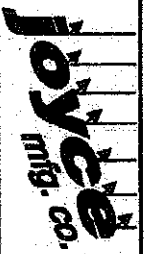
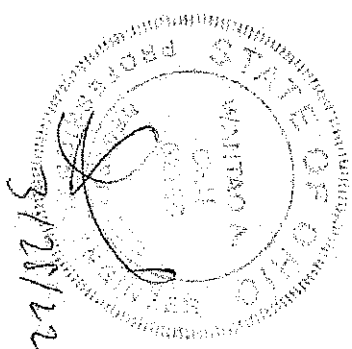
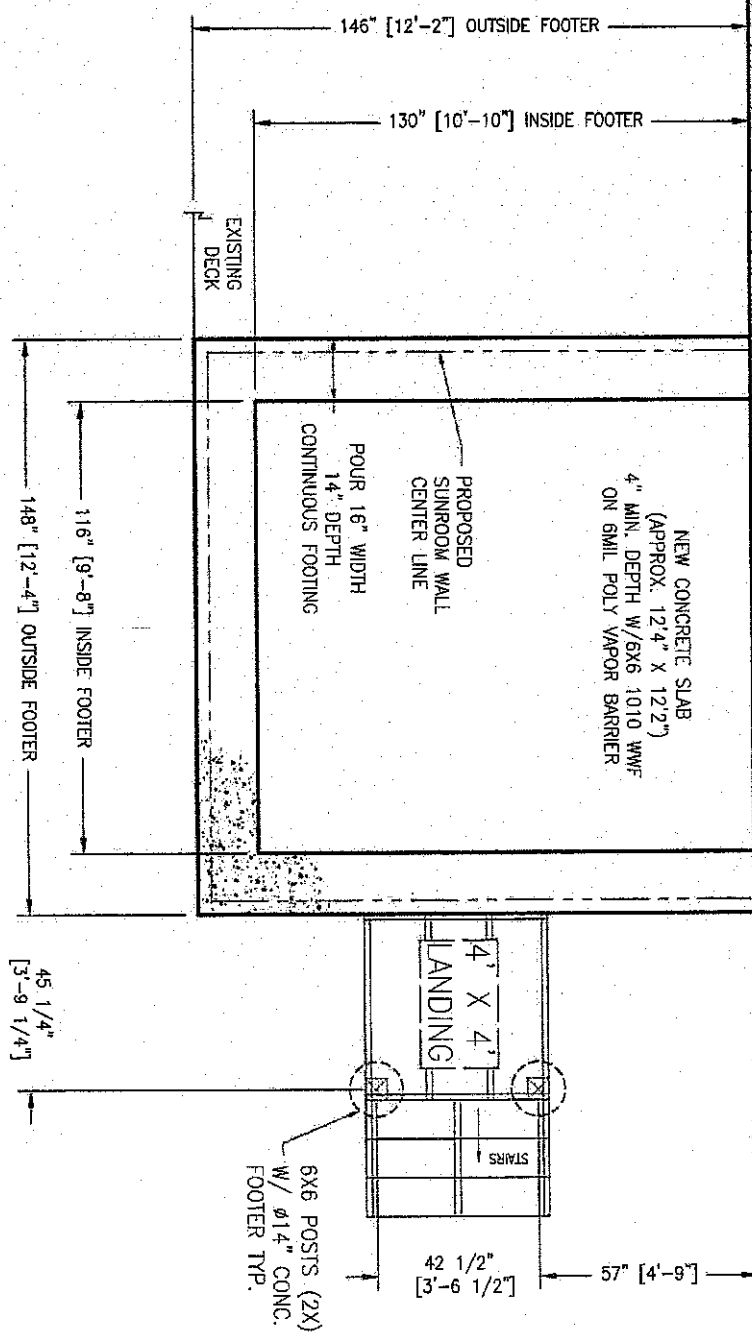


1126 BEREA IND. PKWY.
 BEREA, OH 44017
 PH: (440) 239-9100
 FAX: (440) 239-4812
 TOLL FREE: (800) 824-7988
 E-MAIL: jmc@joycemfg.com

DEALER NAME: JFD CLEVELAND
 CUSTOMER NAME: JANOSEK, 680 CANTERBURY LN, NORTHFIELD, OH 44067
 JOYCE ORDER #: 202202090
 DRAWN BY: WAC
 SCALE: 1/12" = 1'-0"
 CHECKED BY:
 DATE: 03/15/22

LSR 2600 MODULAR ROOM WALL SECTIONS				SHEET:
REV.	DATE	BY	COMMENT	A-3
1	03/18/22	KJH	SEE BALLOON #1 ABOVE	
				3 OF 3

EXISTING BUILDING



1126 BEREA RD. PKWY.
BEREA, OH 44017
PH: (440) 239-9100
FAX: (440) 239-1812
TOLL FREE: (800) 824-7988
E-MAIL: jmc@joycemfg.com

DEALER NAME: JFD CLEVELAND
CUSTOMER NAME: JANOSEK, 690 CANTERBURY LN, NORTHFIELD, OH 44067
JOYCE ORDER #: 202202090
DRAWN BY: KJH
SCALE: 1/4" = 1'-0"

REV.	DATE	BY	COMMENT

PROPOSED CONCRETE PLAN

SHEET:
C-1
1 OF 1



Coral Management Company
13219 Shaker Square
Cleveland, Ohio 44120

April 26, 2022

RE: Architectural Approval

Mr. & Mrs. Janosek
680 Canterbury Ln.
Sagamore Hills, Ohio 44067

Dear Homeowner:

As you may be aware, the undersigned serves as the managing agent for Trails Crossing Homeowner's Association, Inc. Our responsibilities include keeping the residents of the property informed of the various rules of the community. These rules are aimed at promoting the health, safety, and welfare of all residents.

The Trails Crossing Board of Directors has approved your request for a sunroom, as submitted.

The homeowner, or their contractor, is to obtain all necessary Sagamore Hills Township zoning permits, as well as any and all, Summit County building permits. Please be sure to keep a copy of the approval with your homeowner documents.

Sincerely,

Avery E. Dennison on behalf of the Trails Crossing Board of Directors

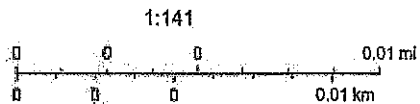
CC: Board

ArcGIS Web Map



4/27/2022, 9:19:50 AM

- Parcels
- Road Labels
- Jurisdictions



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community